

UNDERGROUND SERVICE ALERT



Know what's below.  
Call before you dig.

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

SPECIAL NOTE:

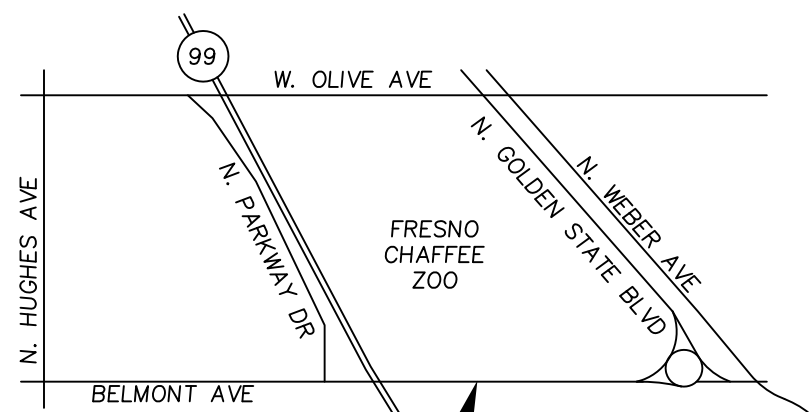
WHERE UNDERGROUND AND SURFACE STRUCTURES ARE SHOWN ON THE PLANS, THE LOCATIONS, DEPTH AND DIMENSIONS OF STRUCTURES ARE BELIEVED TO BE REASONABLY CORRECT, BUT ARE NOT GUARANTEED. SUCH STRUCTURES ARE SHOWN FOR THE INFORMATION OF THE CONTRACTOR, BUT INFORMATION SO GIVEN IS NOT TO BE CONSTRUED AS A REPRESENTATION THAT SUCH STRUCTURES WILL, IN ALL CASES, BE FOUND WHERE SHOWN, OR THAT THEY REPRESENT ALL OF THE STRUCTURES WHICH MAY BE ENCOUNTERED.

CONTRACTOR SHALL NOTIFY "USA" (UNDERGROUND SERVICE ALERT) AT 811, TWO WORKING DAYS BEFORE COMMENCING EXCAVATION AND ALL UTILITY AUTHORITIES OR UTILITY COMPANIES HAVING POSSIBLE INTEREST IN THE WORK, OF CONTRACTOR'S INTENTION TO EXCAVATE PROXIMATE TO EXISTING FACILITIES, AND CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITIES WITHIN THE WORK AREA.

LEGEND:

---	EXISTING SECTION LINE	AP	ANGLE POINT
---	EXISTING CENTER LINE	BLDG	BUILDING
---	EXISTING PROPERTY LINE	C	CONCRETE
---	EXISTING RIGHT-OF-WAY LINE	CATV	CABLE TELEVISION
---	EXISTING CURB & GUTTER	CL	CENTER LINE
---	PROPOSED CURB & GUTTER	ELB	ELECTRIC BOX
---	EXISTING EDGE OF PAVEMENT	EP	EDGE OF PAVEMENT
---	EXISTING WATER LINE	FD	FINISH DIRT
---	PROPOSED WATER LINE	FF	FINISH FLOOR
---	EXISTING STORM DRAIN LINE	FH	FIRE HYDRANT
---	PROPOSED STORM DRAIN LINE	FL	FLOWLINE
---	EXISTING SEWER LINE	FNC	FENCE
---	PROPOSED SEWER LINE	GB	GRADE BREAK
---	SAWCUT LINE	GW	GUY WIRE
⊗	EXISTING WATER VALVE	LIP	LIP OF GUTTER
⊙	PROPOSED WATER VALVE	OG	ORIGINAL GROUND
⊕	EXISTING FIRE HYDRANT	P	PAVEMENT
⊖	PROPOSED FIRE HYDRANT	PL	PROPERTY LINE
⊗	EXISTING WATER METER	PP	POWER POLE
⊙	EXISTING SANITARY SEWER MANHOLE	R/W	RIGHT-OF-WAY LINE
⊖	PROPOSED SANITARY SEWER MANHOLE	S	SLOPE
⊗	EXISTING STORM DRAIN MANHOLE	SDMH	STORM DRAIN MANHOLE
⊙	PROPOSED STORM DRAIN MANHOLE	SL	SECTION LINE
⊖	EXISTING STORM DRAIN INLET	SSMH	SANITARY SEWER MANHOLE
⊕	EXISTING STREET LIGHT	SW	SIDEWALK
⊖	PROPOSED STREET LIGHT	TC	TOP OF CURB
⊗	EXISTING UTILITY POLE	TELB	TELEPHONE BOX
⊙	EXISTING TRANSFORMER POLE	TELR	TELEPHONE RISER
⊖	EXISTING POWER POLE	TOE	TOE OF SLOPE
⊗	EXISTING ANCHOR POLE	TOP	TOP OF SLOPE
⊙	EXISTING TREE	TP	TELEPHONE POLE
⊖	EXISTING HANDICAP RAMP	WM	WATER METER
⊕	EXISTING DRIVE APPROACH	WV	WATER VALVE
---	EXISTING CONCRETE	(218.00)	EXISTING GRADE
---	PROPOSED CONCRETE	220.00	PROPOSED GRADE
---			PROPOSED FIRE CURB

VICINITY MAP:



PROJECT  
SITE



SHEET INDEX:

- 1 - COVER SHEET
- 2 - PROPOSED A.D.A. WALKWAY IMPROVEMENTS
- 3 - PROPOSED A.D.A. WALKWAY IMPROVEMENTS

BENCHMARK :

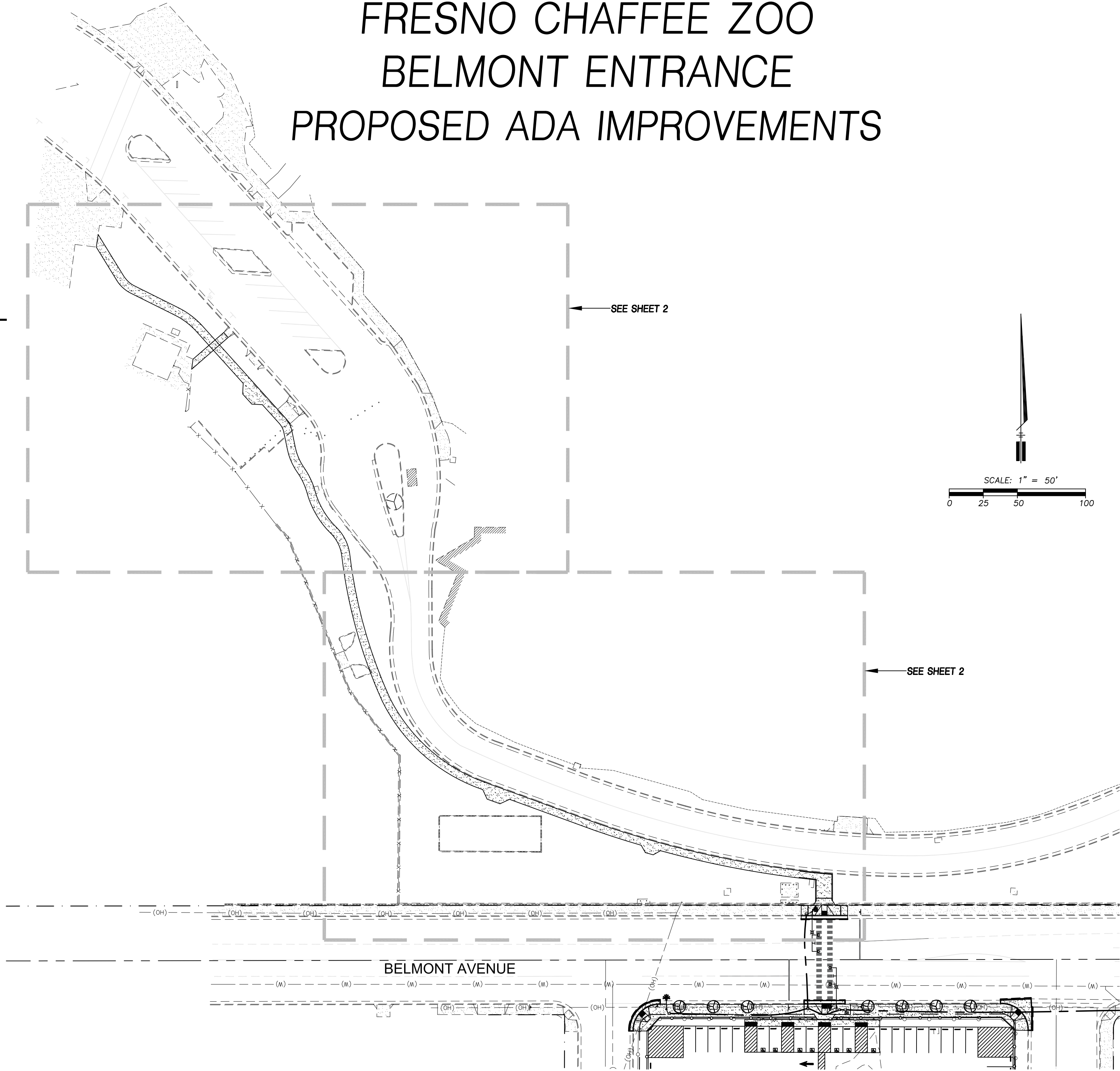
FRESNO CITY BM 2818  
CHISELED SQUARE ON CURB, EAST RETURN,  
SOUTHWEST CORNER TELMAN AND BELMONT  
ELEVATION = 288.362 FEET

PREPARED BY:

YAMABE & HORN ENG.  
2985 NORTH BURL AVE, SUITE 101  
FRESNO, CA 93727  
PH. (559) 244-3123  
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PREPARED FOR:

FRESNO CHAFFEE ZOO  
894 WEST BELMONT AVENUE  
FRESNO, CALIFORNIA 93728  
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GRADING NOTES:

1. CONTRACTOR SHALL OBTAIN A GRADING PERMIT AND PAY THE PLAN CHECK FEE FROM THE CITY OF FRESNO BUILDING DIVISION PRIOR TO ANY GRADING.
2. ALL CONSTRUCTION SHALL BE PERFORMED IN CONFORMANCE WITH THE CITY OF FRESNO STANDARD SPECIFICATIONS AND THE APPLICABLE PORTIONS OF THE CALIFORNIA BUILDING CODE 2013 (CBC 2013)
3. THE CONTRACTOR SHALL MAKE ADEQUATE PROVISION FOR DUST CONTROL FOR THE DURATION OF THE WORK. DUST CONTROL MEASURES SHALL BE FULLY AND ADEQUATELY CARRIED OUT ON WEEKDAYS, WEEKENDS AND HOLIDAYS, AND WHEN NECESSARY, BEFORE OR AFTER NORMAL WORKING HOURS.
4. ALL SIDEWALKS SHALL MAINTAIN A MAXIMUM SLOPE OF 5% IN THE DIRECTION OF TRAVEL AND A MAXIMUM CROSS SLOPE OF 2% TO ADHERE TO ADA REQUIREMENTS.
5. THE GROUND IMMEDIATELY ADJACENT TO ALL FOUNDATIONS SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 2% FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE FROM THE FOUNDATION, THEN A SWALE THAT RUNS PARALLEL TO THE FOUNDATION MAY BE USED AND WILL BE REQUIRED TO BE A MINIMUM SLOPE 2% WITHIN 10 FEET OF THE BUILDING FOUNDATION. ALL OTHER SITE GRADING OUTSIDE OF THE BUILDING ENVELOPE IS REQUIRED TO BE A MINIMUM OF 0.5% IN ADDITION, THE CITY OF FRESNO PERMITS CONCRETE CHANNELS WITH 0.2% MIN. SLOPE WITHIN 10' OF THE BUILDING ENVELOPE AS AN ALTERNATIVE TO THE 2% MIN. SLOPE REQUIREMENT WHEN LOT LINES OR PHYSICAL OBSTRUCTIONS EXIST.
6. THE SITE SHALL HAVE AN OVERALL MINIMUM SLOPE OF 0.5% TO AN APPROVED DRAINAGE FACILITY.
7. NO PERMANENT ON-SITE WATER RETENTION IS ALLOWED.
8. NO SURFACE DRAINAGE SHALL BE PERMITTED ONTO ADJACENT PROPERTIES.
9. ANY SURVEY MONUMENTS WITHIN THE AREA OF WORK SHALL BE PRESERVED OR RESET BY A REGISTERED CIVIL ENGINEER OR A LICENSED LAND SURVEYOR.
10. GRADING NEXT TO ADJACENT PROPERTIES, WHERE DIFFERENCES EXCEED ONE (1) FOOT IN ELEVATION, SHALL CONFORM TO CITY STANDARD OR A RECORDED SLOPE EASEMENT FROM ADJOINING PROPERTY OWNERS AFFECTED SHALL BE PROVIDED. DIFFERENCES IN ELEVATION LESS THAN ONE (1) FOOT SHALL REQUIRE, AT A MINIMUM, A RETAINING BOARD (1"x12") MADE OF REDWOOD OR APPROVED EQUAL, TO BE USED TO RETAIN ALL SOIL ON THE PROPERTY BEING DEVELOPED OR ADJACENT TO THE DEVELOPMENT DEPENDING ON WHICH PROPERTY HAS HIGHER GRADES.
11. ANY RETAINING WALL AND/OR FENCE CONSTRUCTED WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE OF A MASONRY DESIGN AND CONSTRUCTION; A BUILDING PERMIT WILL BE REQUIRED FOR ANY RETAINING WALL/FENCE, BLOCK WALL OR WOOD FENCE TO BE CONSTRUCTED.
12. THE GRADING CONTRACTOR SHALL REMOVE ALL ORGANIC MATTER, DEBRIS, AND OTHER DELETERIOUS MATERIAL FROM THE SITE.
13. ESTIMATED EARTHWORK QUANTITIES:  
EXCAVATION ----- C.Y.  
ENBANKMENT ----- C.Y.  
FOR PERMIT PURPOSES ONLY
14. ALL FILL TO BE COMPACTED TO A MINIMUM OF 90% RELATIVE COMPACTION, INCLUDING UNDER SIDEWALKS, PAVEMENT AREAS, CURBS AND VALLEY GUTTERS SHALL BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION, PER ASTM-D1557-91.
15. PROVIDE COMPACTION REPORTS PREPARED BY AN APPROVED TESTING AGENCY FOR ALL LOOSE FILLS, PAVEMENT SECTIONS, TRENCH BACKFILL, AND RETAINING WALL BACKFILLS.
16. THE OWNER ACKNOWLEDGES THE CITY'S APPROVAL OF THIS GRADING PLAN DOES NOT EXPRESS OR IMPLY THE SITE IS FREE OF CONTAMINANTS OR HAZARDOUS MATERIALS OR THAT THE CITY IS RESPONSIBLE OR LIABLE, IN ANY WAY, FOR THE CLEANUP OF THIS SITE.
17. THE CITY SHALL BE PROVIDED WITH AN "AS-GRADED" PLAN, CERTIFIED BY A REGISTERED ENGINEER PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT. A "HOLD ON OCCUPANCY" WILL BE IN EFFECT UNTIL SUCH TIME AS THIS DEVELOPMENT IS CERTIFIED "AS GRADED" BY THE ENGINEER OF RECORD.
18. THIS GRADING PLAN IS FOR APPROVAL OF ON-SITE ELEVATIONS ONLY. THE ELEVATIONS SHOWN WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRE SEPARATE PUBLIC WORKS DEPARTMENT APPROVAL & PERMIT. ANY NOTES THAT APPLY TO THE PUBLIC RIGHT-OF-WAY ARE FOR REFERENCE ONLY. IF ON-SITE ELEVATIONS SHOWN DO NOT COINCIDE WITH APPROVED STREET PLANS, AN APPROVED AMENDMENT IS REQUIRED.
19. REPAIR ALL DAMAGED AND/OR OFF-GRADE CONCRETE STREET IMPROVEMENTS AS DETERMINED BY THE CONSTRUCTION MANAGEMENT ENGINEER PRIOR TO OCCUPANCY.
20. GRADING AND FILLING WILL NOT ALTER OR DIVERT EXISTING DRAINAGE PATTERNS ON ADJACENT PROPERTY AND WILL NOT CAUSE DRAINAGE TO OCCUR TOWARD ANY EXISTING BUILDING (S). ALL SITE GRADING SHALL COMPLY WITH THE 2013 CALIFORNIA BUILDING CODE.
21. ALL EXISTING OVERHEAD AND/OR ANY NEW UTILITY FACILITIES LOCATED ONSITE OR WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE UNDERGROUND UNLESS OTHERWISE APPROVED BY THE CIVIL ENGINEER IN WRITING.
22. ANY PERSON, CONTRACTOR OR SUBCONTRACTOR PLANNING TO CONDUCT ANY EXCAVATION, SHALL CONTACT USA NORTH AT 811 AT LEAST TWO (2) WORKING DAYS, BUT NO MORE THAN 14 CALENDAR DAYS, PRIOR TO COMMENCING THAT EXCAVATION.
23. ALL EXITING VALVES (CAP AND LID), MANHOLES, UTILITY VAULTS, ETC., AFFECTED BY THIS WORK SHALL BE ADJUSTED TO FLUSH WITH FINISH GRADE AS NECESSARY.

NOTE:

AS-GRADE PLANS, FINAL SOILS REPORT (IF APPLICABLE) AND COMPACTION REPORTS ARE REQUIRED TO BE SUBMITTED AND APPROVED PRIOR TO RECEIVING A "FINAL". A "SAFE-TO-OCCUPY" CAN BE GRANTED BUT WILL REQUIRE A \$15,000.00 CASH DEPOSIT. THE DEPOSIT WILL BE FULLY REFUNDED ONCE THE "AS-GRADE" HAS BEEN APPROVED AND ALL OTHER HOLDS HAVE BEEN CLEARED FOR THE ENTIRE PROJECT. DEPOSITS ARE TYPICALLY REFUNDED FROM THE FINANCE DEPARTMENT IN THE FORM OF A CHECK APPROXIMATELY 1 WEEK AFTER THE REFUND IS REQUESTED. THERE WILL BE A ONE-TIME \$60.00 HANDLING FEE FOR THE "SAFE-TO-OCCUPY" TRANSACTION SHOULD IT BE REQUESTED.

Ref. & Rev.

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FRESNO CHAFFEE ZOO  
BELMONT ENTRANCE  
COVER SHEET

PROJECT TITLE  
SHEET DESCRIPTION

Dr. By: ER

Ch. By: DH

Date: 1/3/2017

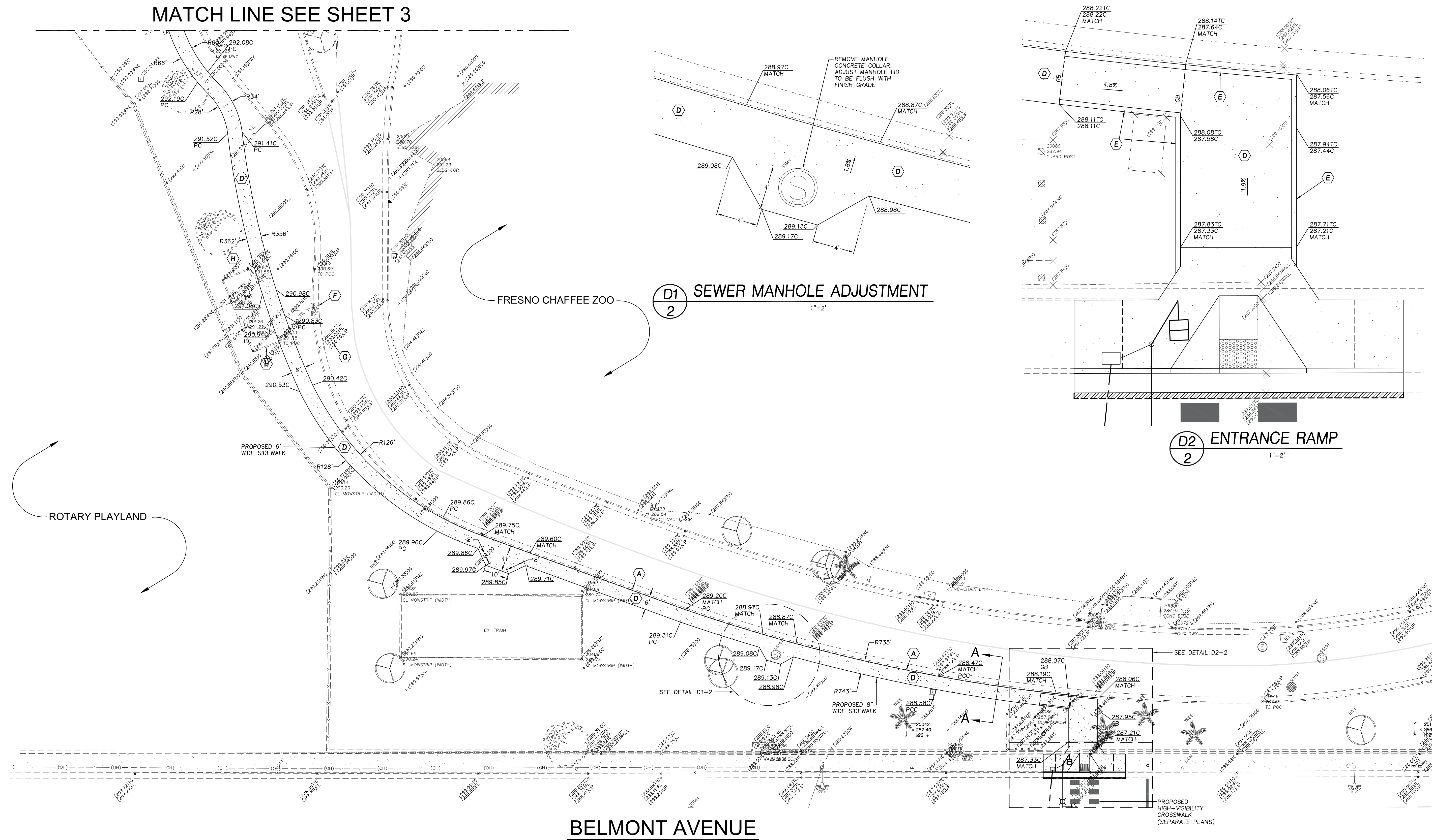
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YH Job No. 16-396

Sheet No. 1

of 3 Sheets





Ref. & Rev.

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FRESNO CHAFFEE ZOO  
BELMONT ENTRANCE  
PROPOSED A.D.A. WALKWAY IMPROVEMENTS  
GRADING PLAN

PROJECT TITLE

SHEET DESCRIPTION

Dr. By: ER, MG

Ch. By: DH

Date: 1/3/2017

Scale: As Noted

YH Job No. 16-396

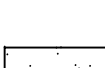
Sheet No. 2

of 3 Sheets

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- (A) EXISTING CURB AND GUTTER TO REMAIN AND BE PROTECTED.
- (B) EXISTING SIDEWALK, RAMP AND SLAB TO REMAIN AND BE PROTECTED.
- (C) SAWCUT AND MATCH EXISTING
- (D) PROPOSED CONCRETE SIDEWALK PER DETAIL D1-2
- (E) PROPOSED CONCRETE CURB PER DETAIL D2-2
- (F) REMOVE AND SALVAGE STREET LIGHT AND CONDUIT.
- (G) REINSTALL SALVAGED STREET LIGHT AND CONDUIT, INSTALL PULLBOX AND RUN CONDUIT FROM EXISTING LOCATION.

 PROPOSED 3-1/2" THICK CONCRETE SIDEWALK

